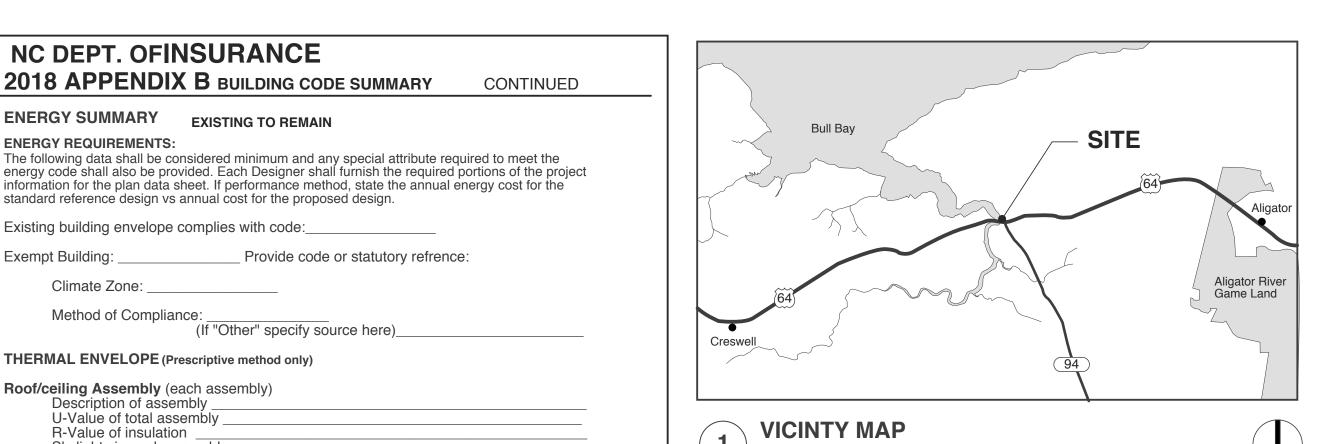
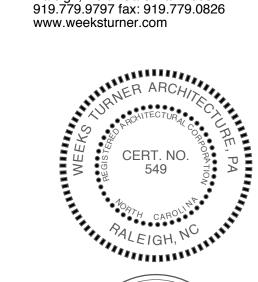
NC DEPT. OF INSURANCE 2018 APPENDIX B **BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS** (EXCEPT 1 & 2-FAMILY DWELINGS AND TOWNHOUSES) US 64, COLUMBIA. NC Address: RESTROOM BUILDING Proposed Use: Owner Or Authorized Agent: Phone: (919) 779-9797 Weeks Turner Architecture E-mail ganderson@weeksturner.com Raleigh, NC City/County Code Enforcement Jurisdiction:] County LEAD DESIGN PROFESSIONAL: WEEKS TURNER ARCHITECTURE, PA LIC. # TELEPHONE Weeks Turner Architecture Ginger S. Anderson 11075 (919) 779-9797 ganderson@weeksturner.com Architectural: Burke Design Group Benjamin E. Burke 22038 (919) 771-1916 Electrical: Fire Alarm: Benjamin E. Burke 22038 (919) 771-1916 Plumbing: Benjamin E. Burke 22038 (919) 771-1916 Burke Design Group benburke@nc.rr.com Mechanical: Sprinkler-Standpipe Structural: Retaining Walls Other: 2018 NC BUILDING CODE: [] Shell/Core [] 1st Time Interior Completions 1 Addition Phased Construction - Shell Core 2018 NC EXISTING BUILDING CODE:[] Prescriptive [X] Alteration Level I [] Historic Property Alteration Level II [] Change of Use [] Chapter 14 [] Alteration Level III CONSTRUCTED: 1994 CURRENT OCCUPANCY(S) (Ch. 3): Business 2000 & 2008 PROPOSED OCCUPANCY(S) (Ch. 3): Business OCCUPANCY CATEGORY (Table 1604.5): Current: **BASIC BUILDING DATA** CONSTRUCTION TYPE: []II-A []III-A []IV []V-A **SPRINKLERS:** [X] NO [] PARTIAL [] NFPA 13 [] NFPA 13R **STANDPIPES:** [X] NO CLASS []I []II []III []WET []DRY [X] NO [] YES FLOOD HAZARD AREA: [X] NO [] YES PRIMARY FIRE DISTRICT: **SPECIAL INSPECTIONS REQUIRED:** [X]NO []YES **GROSS BUILDING AREA** AREA REST AREA VENDING 3RD FLOOR 2ND FLOOR 330 SF 2,592 SF 330 SF **MEZZANINE** 1,516 SF 1ST FLOOR 1,326 SF 5,434 SF **BASEMENT** 2,922 SF TOTAL 1,326 SF 5,764 SF **ALLOWABLE AREA:** PRIMARY OCCUPANCY:] ASSEMBLY []A-1 []A-2 []A-3 []A-4 []A-5 X) BUSINESS Í EDUCATIONAL FACTORY F-1 Moderate []F-2 Low]H-1 Detonate []H-2 Deflagrate []H-3 Combust []H-4 Health []H-5 HPM Î HIGH-HAZARD] I-1 [] I-2 [] I-3 [] I-4 I-1 Condition [] 1 [] 2 j INSTITUTIONAL I-2 Condition []2 []3 []4 []5] MERCANTILE] R-1 [] R-2 [] R-3 [] R-4] S-1 Moderate [] S-2 Low [] PARKING GARAGE [] OPEN [Î RESIDENTIAL j storage [] REPAIR GARAGE i i enclosed ACCESSORY OCCUPANCY CLASSIFICATION(S): **INCIDENTAL USES (Table 509):** This separation is not exempt as a Non-Separated Use (see exceptions). SPECIAL USES (Chapter 4 - List Code Sections): SPECIAL PROVISIONS (Chapter 5 - List Code Sections): MIXED OCCUPANCY: <u>Select one</u> Separation: <u>Select one</u> Exception: Actual Area of Occupancy A Actual Area of Occupancy B Allowable Area of Occupancy A Allowable Area of Occupancy B BLDG AREA TABLE 506.24 AREA FOR ALLOWABLE STORY DESCR'N AND USE PER STORY AREA OPEN SPACE AREA OR UNLIMITED 2,3 INCREASE 1,5 5,764 sf 9,000 6,750 15,750 BUSINESS 1. Frontage Area Increases From Section 506.2 Are Competed Thus: A. Perimeter Which Fronts A Public Way Or Open Space Having 20 Ft Min. Width = _____ (F). Total Building Perimeter = ____(P). C. Ratio (F/P) = ____ (F/P). D. W= Minimum Width Of Public Way = ---- (W) Unlimited area applicable under conditions of Section 507. 3. Max. Building Area = Total No. Of Stories In The Building X D (maximum 3 stories) (506.2). 4. The Maximum Area Of Open Parking Garages Must Comply With 406.5.4. The Maximum Area Of Air Traffic Control Towers Must Comply With 412.3.1. 5. Frontage increase is based on the unsprinklered area value in Table 506.2. ALLOWABLE HEIGHT **ALLOWABLE** SHOWN REFERENCE (TABLE 503) ON PLANS

FIRE PROTECTION REQUIRE	JILDING	CODE S	UMMARY		CC	ONTINUEI)	TYRRELL COL
FINE PROTECTION REQUIRE	MENTS							I I I THELL GOVE
BUILDING ELEMENT	FIRE SEP'N DIST. (FT)		RATING PROV'D (W/* REDUCTION)	DETAIL # AND SHEET #	DES. # FOR RATED ASS'Y	DES. # FOR RATED PENET'N	DES. # FOR RATED JOINTS	REST AREA R
STRUCTURAL FRAME, INCLUDING COLUMNS GIRDERS, TRUSSES BEARING WALLS	≥ 30'	0	0					
EXTERIOR NORTH	≥ 30'	0	0					US 64
EAST WEST SOUTH	≥ 30' ≥ 30' ≥ 30'	0 0 0	0 0 0					
INTERIOR NONBEARING WALLS	≥ 30'	Ö	Ō					COLUMBIA, NC
AND PARTITIONS EXTERIOR NORTH	≥ 30'	0	0					
EAST WEST	≥ 30' ≥ 30'	0	0					
SOUTH INTERIOR WALL & PARTITIONS	≥ 30'	0 0 0	0 0 0					
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS		O	O					
FLOOR CEILING ASSEMBLY COLUMNS SUPPORTING FLOO	ORS	0	0 0 0					
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS		U	O					
ROOF CEILING ASSEMBLY COLUMNS SUPPORTING ROO	F	0	0					
SHAFTS ENCLOSURES-EXIT SHAFTS ENCLOSURES-OTHER CORRIDOR SEPARATION		0 0 0	0 0 0					
OCCUPANCY/FIRE BARRIER SEPARATION		0	0					
PARTY/FIRE WALL SEPARATION SMOKE BARRIER SEPARATION		0 0 0	0 0 0					NC DEPT. OFINSURANCE
SMOKE PARTITION TENANT/DWELLING UNIT/SLEEPIN UNIT SEPARATION	G	Ö	0					2018 APPENDIX B BUILDING CODE SUMMARY CONTINUED
INCIDENTAL USE SEPARATION		0	0					ENERGY SUMMARY EXISTING TO REMAIN
*INDICATE SECTION NO. PERMITT	NG REDU	ICTION						ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the
PERCENTAGE OF WALL OF	ENING (CALCULA	ATIONS					The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the
FIRE SEPARATION DISTANCE (FEET)	DE(GREE OF PENINGS	ALLOWAB	IE ACTI	UAL SHOW	/NI		standard reference design vs annual cost for the proposed design. Existing building envelope complies with code:
FROM PROPERTY LINES	PRC	TECTION BLE 705.8)	AREA	0	N PLANS	/IN		Exempt Building: Provide code or statutory refrence:
	`							Climate Zone:
								Method of Compliance:
								(If "Other" specify source here)
LIFE SAFETY SYSTEM REQUI								THERMAL ENVELOPE (Prescriptive method only) Roof/ceiling Assembly (each assembly)
EMERGENCY LIGHTING: [X] EXIT SIGNS: [X]	YES []!	NO SM	OKE DETECTIO	NSYSTEMS	S IIYE	C IXINO		Description of example
FIRE ALARM: Î Î	YES [][YES [X][NO PAI NO	NIC HARDWARE	Ē:	[] YE	s [X] NO		U-Value of total assembly
	YES []I	NO PA NO	NIC HARDWARE	<u>:</u>	[] YE	S [X] NO		U-Value of total assembly
LIFE SAFETY PLAN REQUIRE	MENTS		NIC HARDWARE	SHEET	[] YE	S [X] NO A0		Description of assembly
LIFE SAFETY PLAN REQUIRE	MENTS		NIC HARDWARE	SHEET	[] YE	S [X] NO A0		Total square footage of skylights in each assembly
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TYRRELL COUNTY REST AREA RENOVATION **US 64** COLUMBIA, NC





WEEKS

TURNER

3305-109 Durham Drive

Raleigh, North Carolina 27603

ARCHITECTURE

WEEKS TURNER ARCHITECTURE, PA



DRAWING INDEX

COVER SHEET LIFE SAFETY PLAN EXIST. FLOOR PLAN-DEMO REV. FLOOR PLAN FRAMING PLAN **ROOF PLAN BUILDING ELEVATIONS BUILDING ELEVATIONS ENLARGED FLOOR PLANS DETAILS** STORAGE SHED PLUMBING NOTES P2 PLUMBING PLAN ELECTRICAL DETAILS/SPECS E2 ELECTRICAL PLAN ELECTRICAL PLAN

WBS: 15RE.12.1.3

PROJECT TITLE

TYRRELL CTY. REST AREA & VISITOR'S CTR. COLUMBIA, NORTH CAROLINA

PROJECT NO. 1804a DRAWING TITLE

COVER SHEET

SHEET 1 OF

1 (STÒRÍES)

BUILDING HEIGHT IN FEET

BUILDING HEIGHT IN STORIES

1 (STÓRIES)

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

SPECTRAL RESPONSE ACCELERATION Ss --- %g S_I --- %g

SITE CLASSIFICATION (ASCE 7) [] A [] B [] C [] D

--- Field Test --- Presumptive --- Historical Data BASIC STRUCTURAL SYSTEM (check one) ----- BEARING WALL ----- BUILDING FRAME

----- DUAL W/SPECIAL MOMENT FRAME ----- DUAL W/INTERMEDIATE R/C OR SPECIAL STEEL ----- MOMENT FRAME ----- INVERTED PENDULUM ---- SIMPLIFIED ---- EQUIVALENT LATERAL FORCE ANALYSIS PROCEDURE

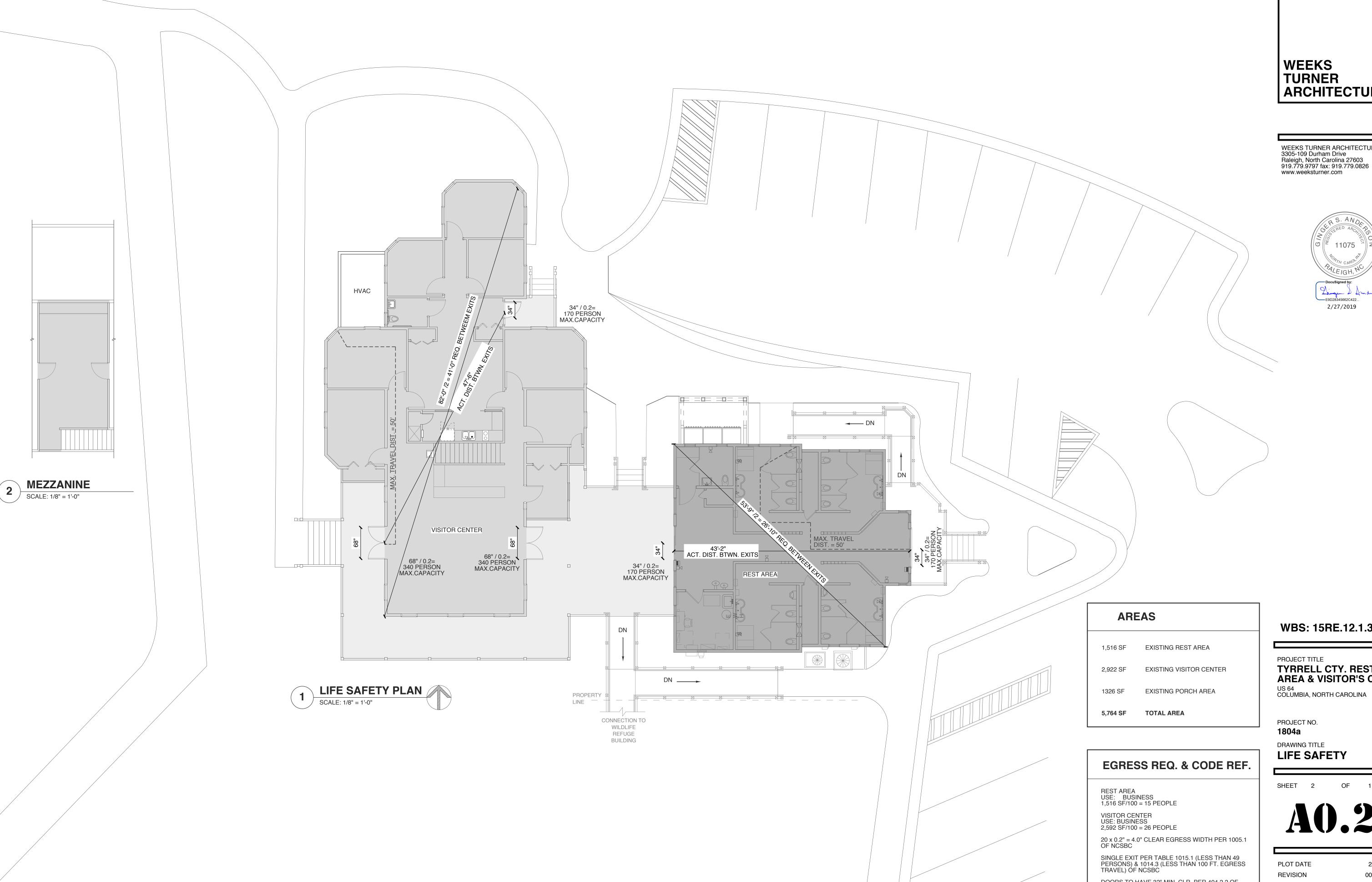
SOIL BEARING CAPACITIES: FIELD TEST (PROVIDE COPY OF TEST REPORT) PRESUMPTIVE BEARING CAPACITY PILE SIZE, TYPE, AND CAPACITY

PLOT DATE REVISION

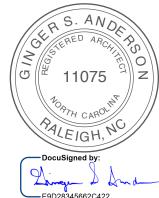
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00/00/08



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DOORS TO HAVE 32" MIN. CLR. PER 404.2.2 OF ANSI A117.1

THE CLEAR WIDTH OF INTERIOR ACCESSIBLE ROUTE IS 36" MIN. PER 403.5 OF ANSI A117.1

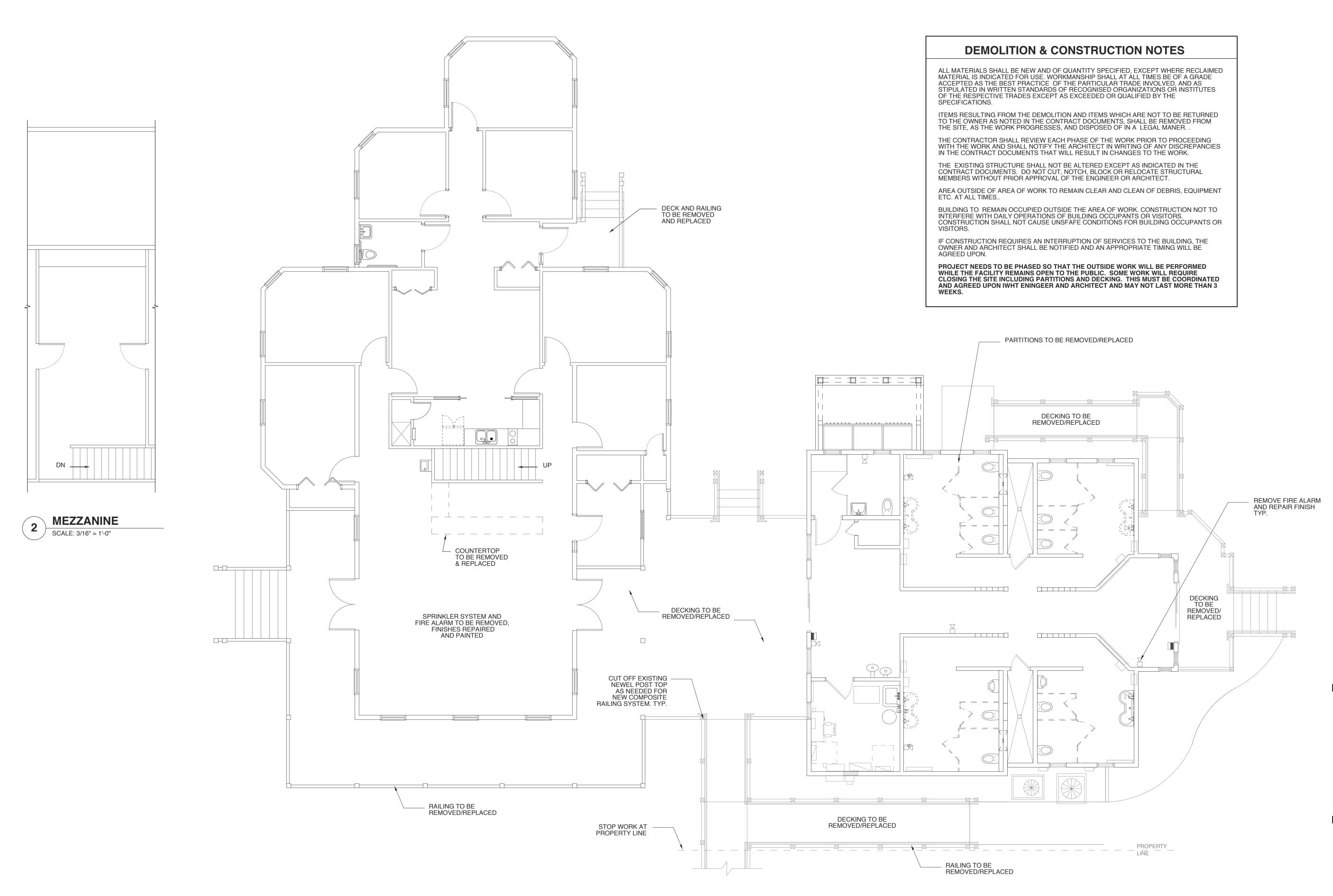
WBS: 15RE.12.1.3

TYRRELL CTY. REST AREA & VISITOR'S CTR.

SHEET 2 OF

2/25/19 00/00/08

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DEMO PLAN

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WBS: 15RE.12.1.3

PROJECT TITLE **TYRRELL CTY. REST** AREA & VISITOR'S CTR. US 64 COLUMBIA, NORTH CAROLINA

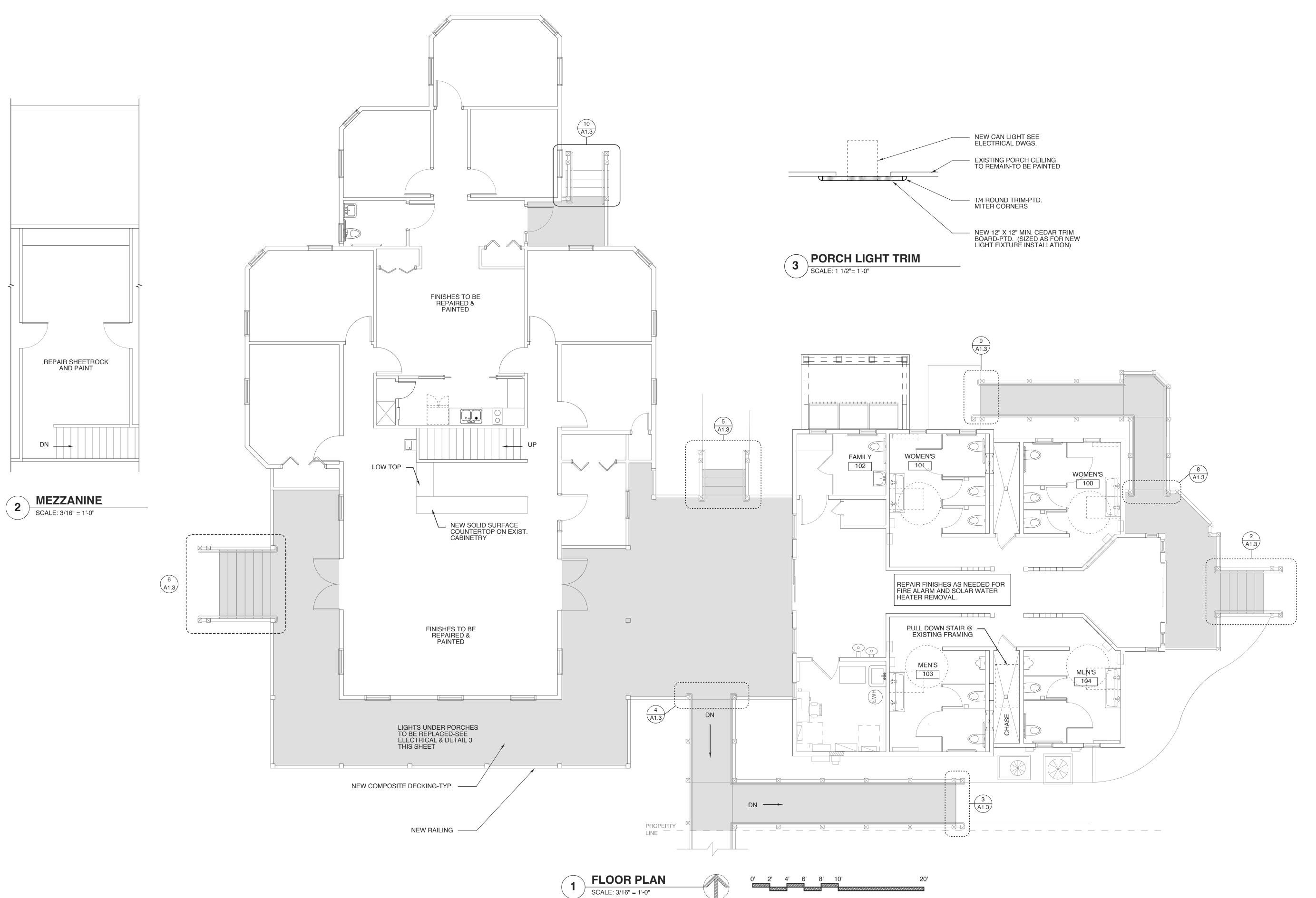
PROJECT NO. 1804a DRAWING TITLE **DEMO PLAN**

SHEET 3

PLOT DATE REVISION

2/25/19 00/00/08

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WBS: 15RE.12.1.3

PROJECT TITLE

TYRRELL CTY. REST

AREA & VISITOR'S CTR.

US 64
COLUMBIA, NORTH CAROLINA

PROJECT NO.

1804a

DRAWING TITLE

FLOOR PLAN

SHEET 4 OF 1

A1.2

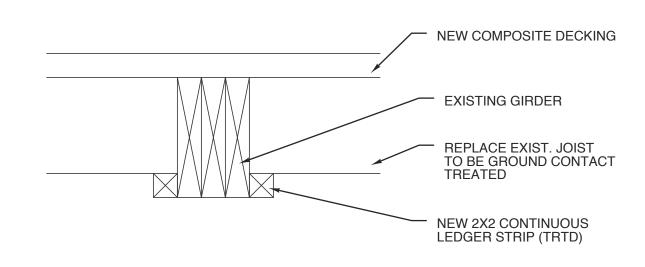
PLOT DATE REVISION

2/25/19 00/00/08

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WEEKS TURNER ARCHITECTURE, PA 3305-109 Durham Drive Raleigh, North Carolina 27603 919.779.9797 fax: 919.779.0826 www.weeksturner.com

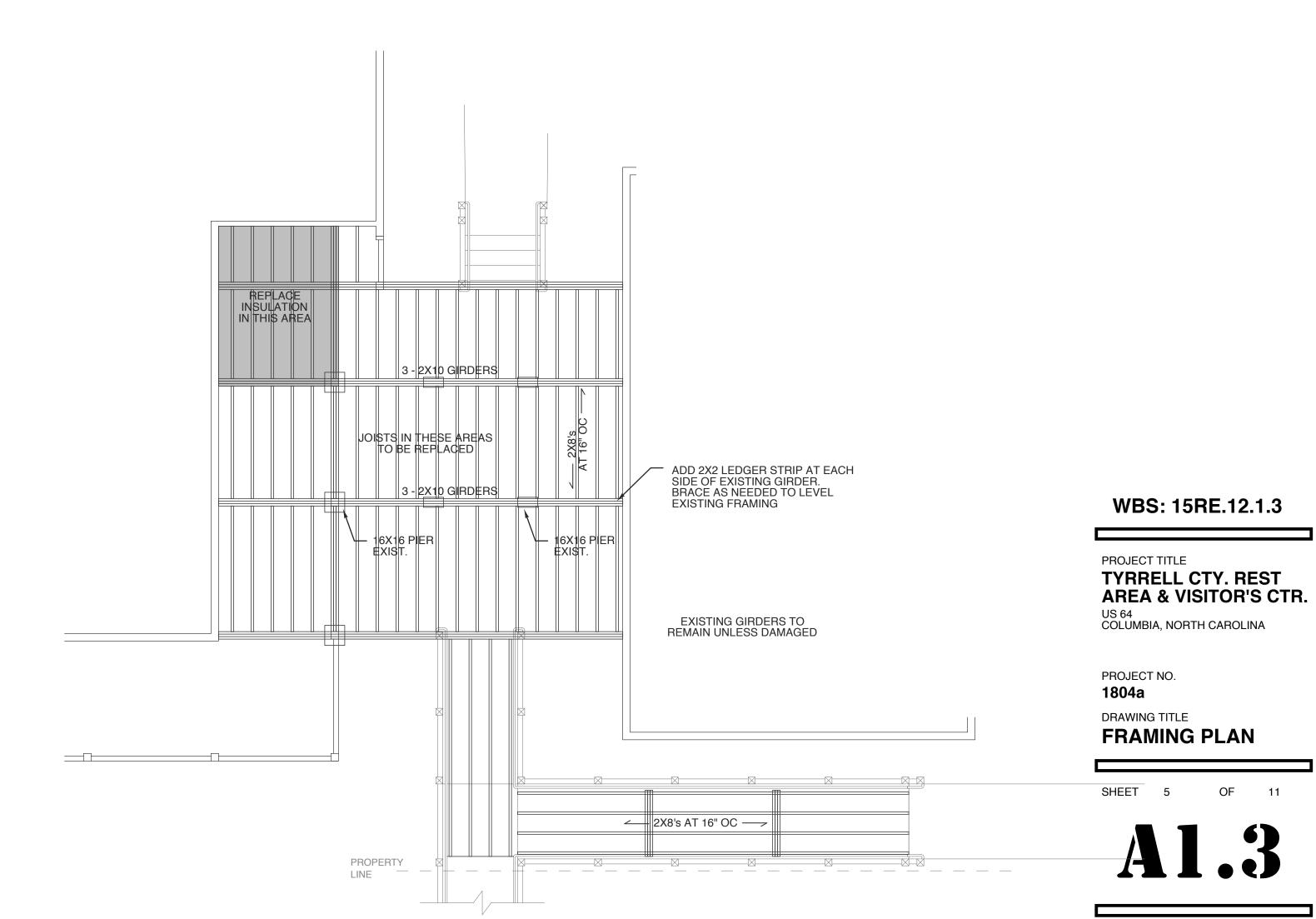


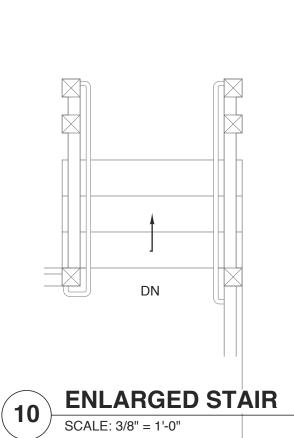


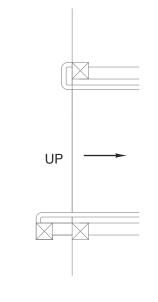
7 DETAIL

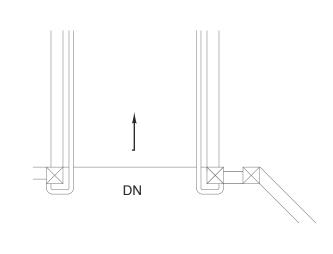
SCALE: 1 - 1/2" = 1'-0"

FRAMING PLAN
SCALE: 3/16" = 1'-0"



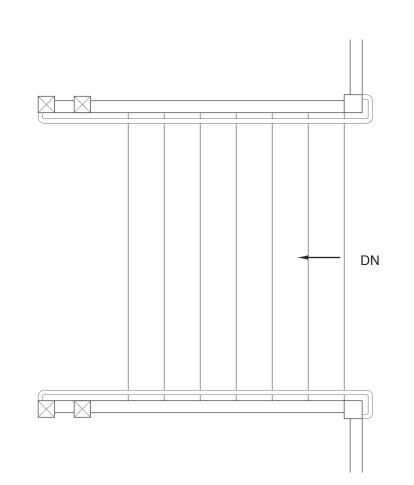


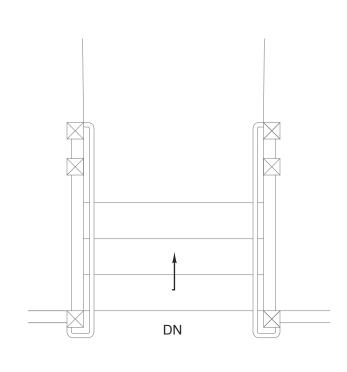








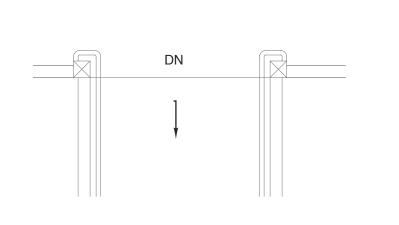


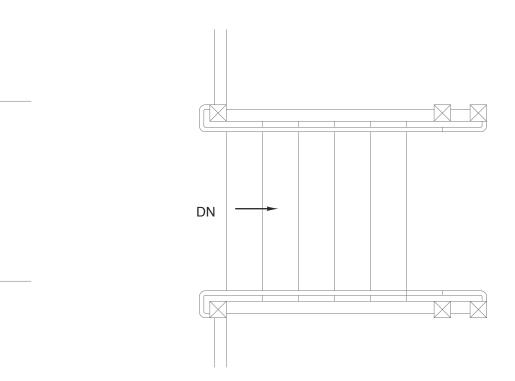




5 ENLARGED STAIR

SCALE: 3/8" = 1'-0"

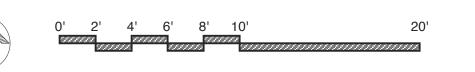








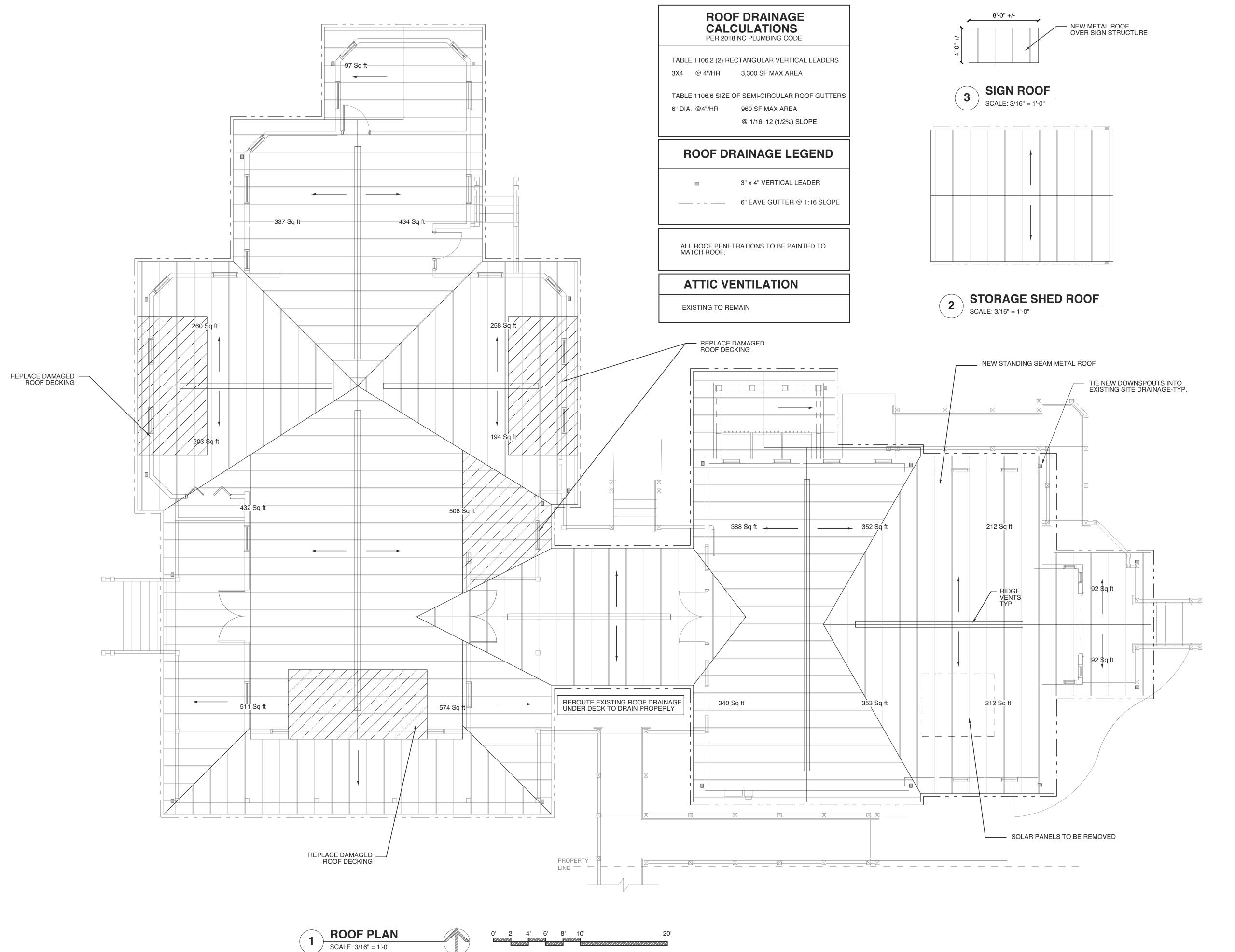




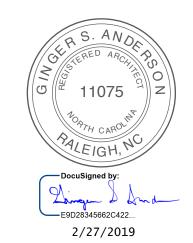
PLOT DATE 2/25/19
REVISION 00/00/08

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WBS: 15RE.12.1.3

PROJECT TITLE TYRRELL CTY. REST AREA & VISITOR'S CTR. US 64 COLUMBIA, NORTH CAROLINA

PROJECT NO. 1804a DRAWING TITLE **ROOF PLAN**

SHEET 6

PLOT DATE

2/26/19 REVISION 00/00/08

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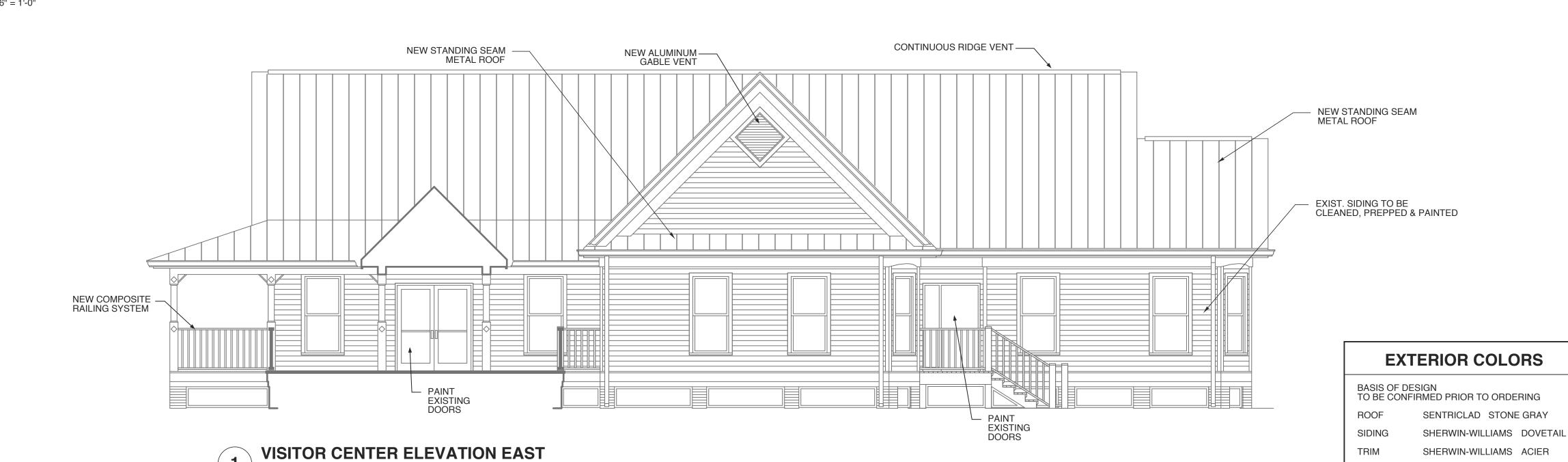
SCALE: 3/16" = 1'-0"



- EXIST. SLIDING DOOR TO REMAIN

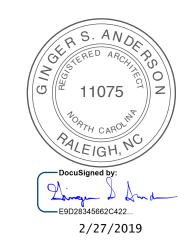
SCALE: 3/16" = 1'-0"

REST AREA ELEVATION EAST



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WBS: 15RE.12.1.3

PROJECT TITLE

TYRRELL CTY. REST

AREA & VISITOR'S CTR.

US 64
COLUMBIA, NORTH CAROLINA

PROJECT NO.

1804a

DRAWING TITLE

ELEVATIONS

SHEET 7 OF 1

A2.1

PLOT DATE REVISION

EXTERIOR TO BE CLEANED AND PREPPED PRIOR TO PAINTING. SEE SPEC SECTION 0900.

ALUMINUM FLASHING TO BE CLEANED, SCRAPED, ABRAIDED & PRIMED PRIOR TO PAINTING

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EXTERIOR COLORS

BASIS OF DESIGN TO BE CONFIRMED PRIOR TO ORDERING SENTRICLAD STONE GRAY SHERWIN-WILLIAMS DOVETAIL SIDING SHERWIN-WILLIAMS ACIER

EXTERIOR TO BE CLEANED AND PREPPED PRIOR TO PAINTING. SEE SPEC SECTION 0900.

ALUMINUM FLASHING TO BE CLEANED, SCRAPED, ABRAIDED & PRIMED PRIOR TO PAINTING

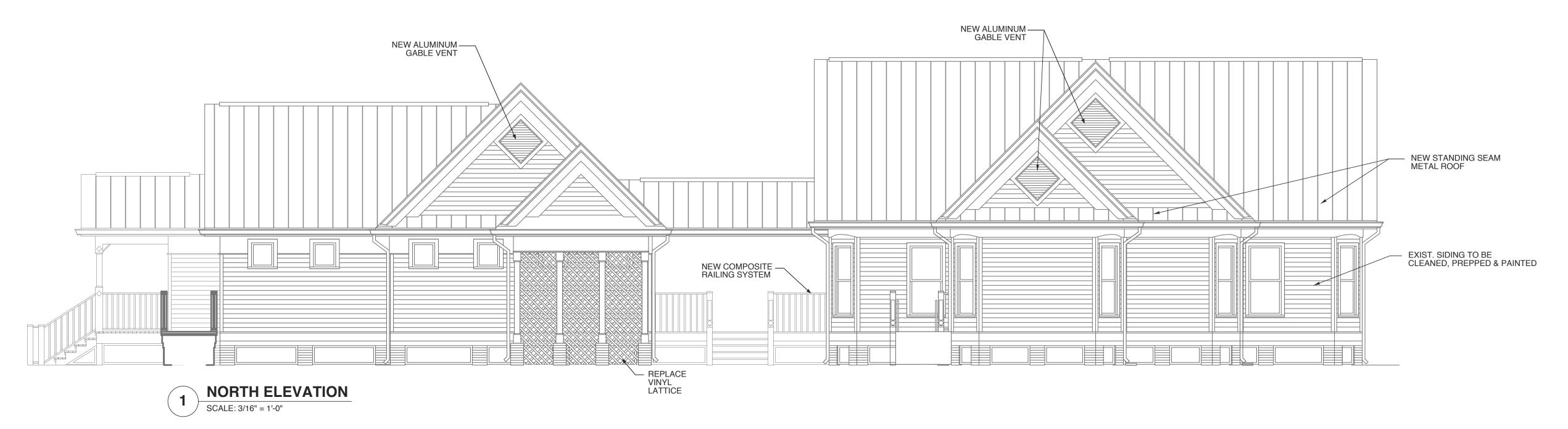
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PROJECT NO. 1804a DRAWING TITLE

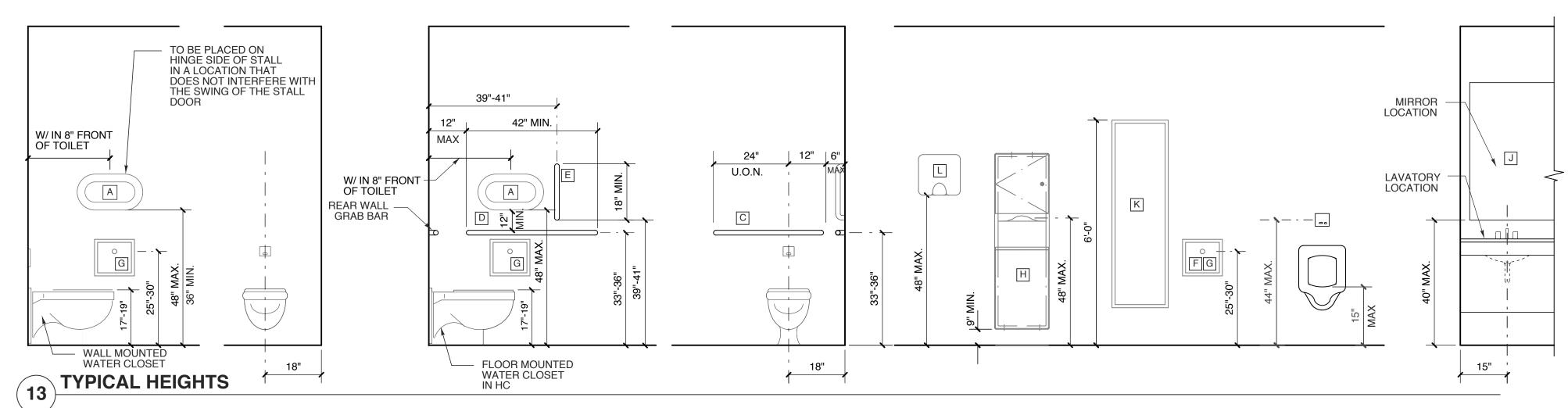
ELEVATIONS

SHEET 8 OF

PLOT DATE REVISION

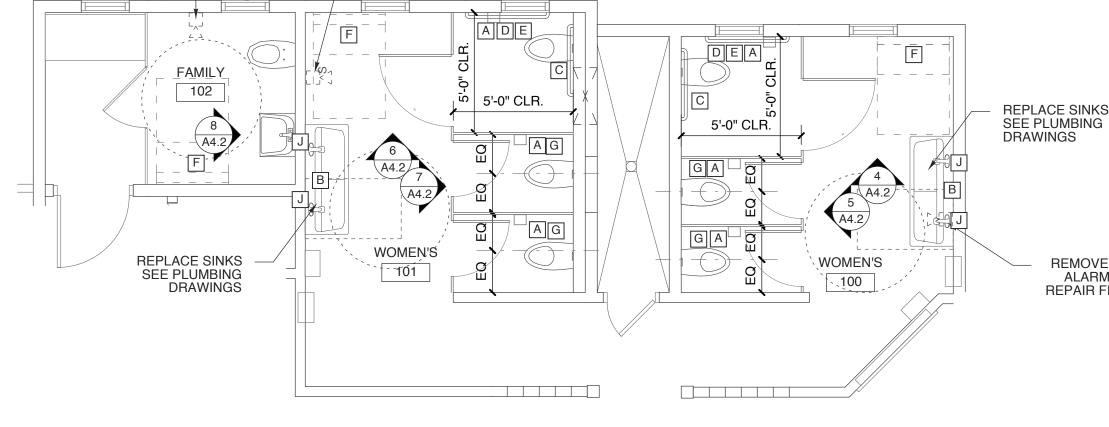
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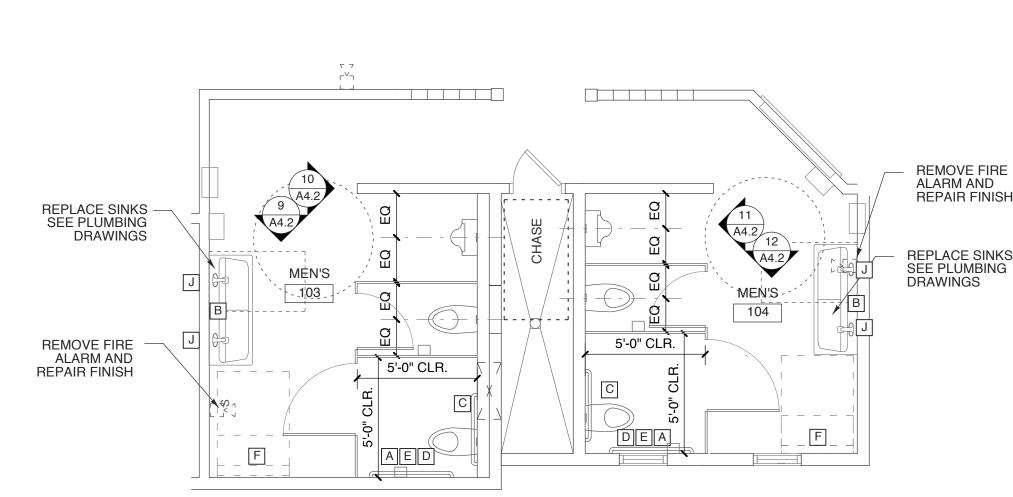




ALARM AND REPAIR FINISH **FAMILY** 102 С 5'-0" CLR. REPLACE SINKS 8 A4.2 SEE PLUMBING 5'-0" CLR. **DRAWINGS** WOMEN'S REPLACE SINKS SEE PLUMBING DRAWINGS WOMEN'S REMOVE FIRE 101 ALARM AND REPAIR FINISH



NOTE: GC TO INSTALL BLOCKING FOR ALL TOILET ACCESSORIES AND TOILET PARTITIONS AS REQ'D



ENLARGED FLOOR PLANS SCALE: 1/4" = 1'-0"

WEEKS TURNER ARCHITECTURE, PA

ARCHITECTURE

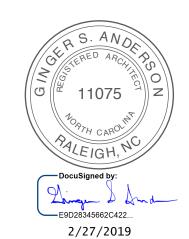
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PROJECT TITLE **TYRRELL CTY. REST** AREA & VISITOR'S CTR. US 64 COLUMBIA, NORTH CAROLINA

PROJECT NO. 1804a

SHEET

DRAWING TITLE **ENLG. FLOOR PLAN**

OF

PLOT DATE REVISION

2/25/19

00/00/08

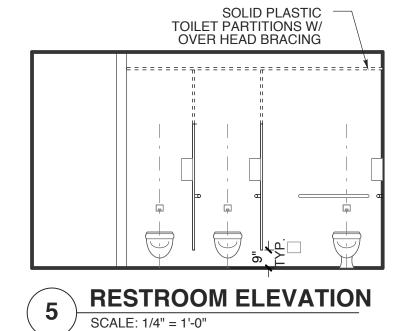
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SCALE: 1/4" = 1'-0"

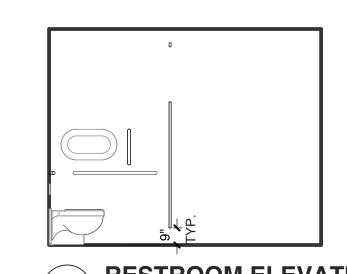
SOLID PLASTIC TOILET PARTITIONS W/ OVER HEAD BRACING

|------1---



RESTROOM ELEVATION

SCALE: 1/4" = 1'-0"



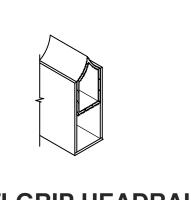
RESTROOM ELEVATION

RESTROOM ELEVATION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"





SOLID PLASTIC TOILET PARTITIONS W/

RESTROOM ELEVATION

SOLID PLASTIC TOILET PARTITIONS W/ OVER HEAD BRACING

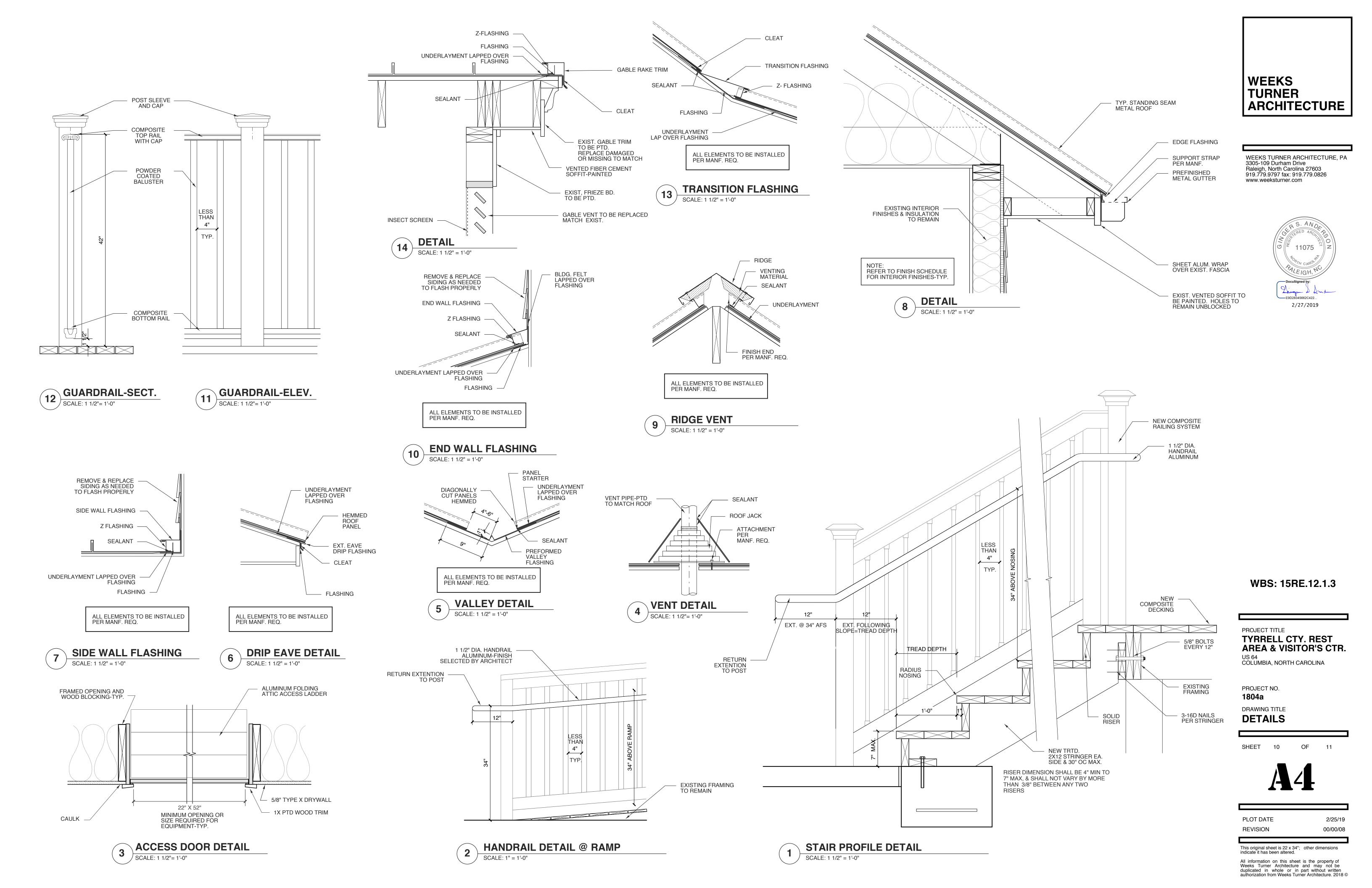
RESTROOM ELEVATION

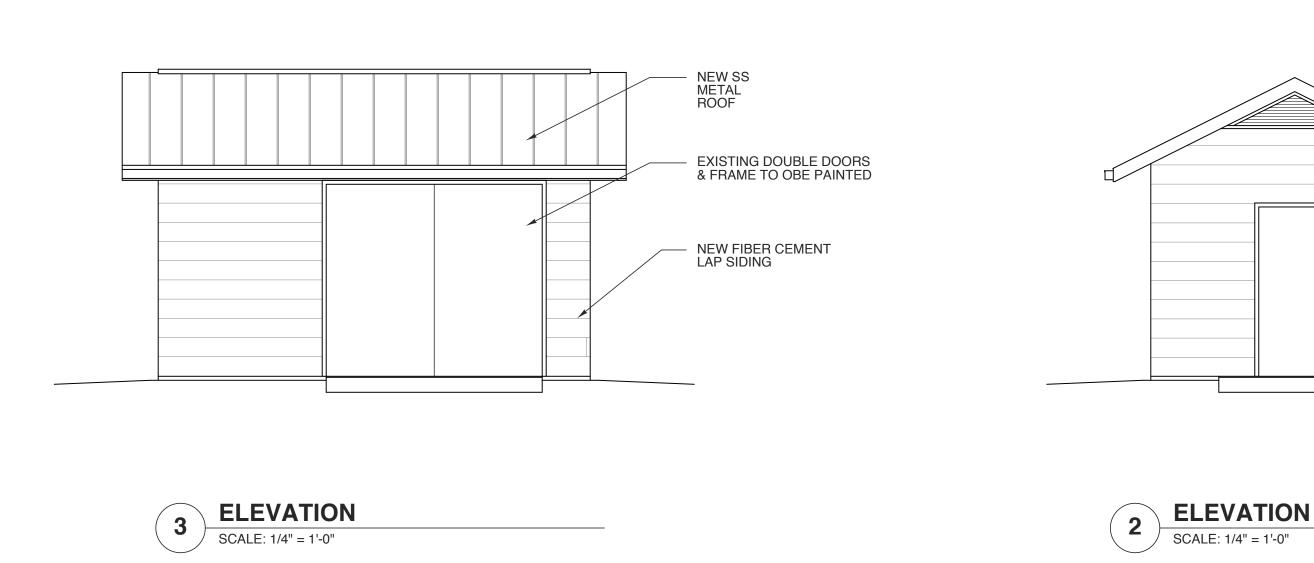
SCALE: 1/4" = 1'-0"

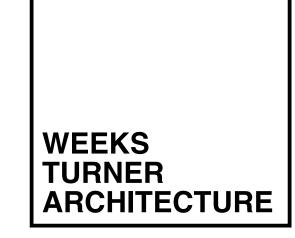
SCALE: 1/4" = 1'-0"

OVER HEAD BRACING

ANTI-GRIP HEADRAIL DETAIL SCALE: NTS







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PROJECT TITLE TYRRELL CTY. REST AREA & VISITOR'S CTR. US 64 COLUMBIA, NORTH CAROLINA PROJECT NO. 1804a DRAWING TITLE

STORAGE SHED

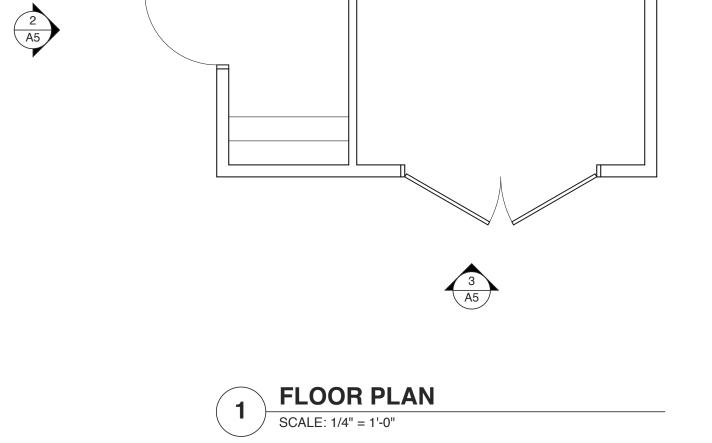
WBS: 15RE.12.1.3



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NEW GABLE VENT

- REPLACE GUTTERS AND DOWNSPOUTS NEW GUTTERS WILL BE SEAMLESS

NEW FIBER CEMENT LAP SIDING -PTD.

- NEW HM INSUL DOOR 3'-0" X 7'-0" PTD.

DIVISION 15A - PLUMBING

- 1.1 DESCRIPTION OF THE WORK
- A. Work under this section includes, but is not necessarily limited to, furnishing, installing, and/or demo of the following:
- 1. Plumbing fixtures, water heaters, and any other equipment necessary.
- 2. Cold and hot water piping and insulation.
- DWV piping.
- 4. Connection of all equipment; drain, vent,
- B. All work under this contract shall be installed in compliance with the latest edition of the following codes and standards
- insofar as they apply.
- 1. The National Electrical Code.
- 2. 2018 N.C. Building Code: Plumbing, and all applicable category codes. 3. American Society of Sanitary Engineering Standard 1010.
- 4. All local codes and ordinances. C. These codes are minimum standards. If codes require a more stringent method of construction than the specifications
- require, the codes shall govern. D. The Plumbing Contractor shall be licensed in the State of
- North Carolina and have all local licenses required for the work. E. Obtain all permits, licenses, inspections, etc., required for the work, and pay for the same.
- 1.2 INTENT
- A. The intent of these specifications and accompanying drawings is to convey as reasonably as possible the requirements for a complete job ready for the building to operate. The Plumbing Contractor shall take this into consideration and include in his base bid allowance for contingencies as will allow him to provide minor pieces of equipment and labor not specifically indicated but required for the job to operate properly, at no additional cost to the Owner.
- 1.3 COORDINATION
- A. Coordinate work with other contractors. Notify Architect of apparent conflicts early to expedite construction. If structural damage appears imminent, stop work and notify Architect for a decision before resuming operations.
- B. Locations shown are approximate. The Plumbing Contractor shall refer to the architectural drawings for placement of equipment, fixtures, etc. Where locations are not clear, the Contractor shall obtain the exact locations from the Architect.
- C. Coordinate all exterior piping connections w/Architect, site contractor/plans. Verify manhole elevations and provide backwater valves as required if flood level rims are below next upstream manhole cover elevation. Fixtures with flood level rims above upstream manhole shall not discharge thru bw valve. Notify engineer of backwater valve requirement, any issue prior to bid. 1.4 SHOP DRAWINGS
- A. Shop drawings shall be submitted for plumbing fixtures and for pipe. These may consist of the manufacturer's standard catalog or tear sheets and shall have the exact items being offered clearly

PART 2 - PRODUCTS

- 2.1 FIXTURES
- A. Each fixture shall be properly supported from the building structure as required to the end effect that all fixtures and accessories will be held rigidly in place. Water pipes supplying the fixtures must also be held rigidly in place.
- B. Provide loose key angle stops and chrome plated supply pipe water supplies to fixtures.
- C. All exposed piping traps and accessories for fixtures shall be chrome plated. Provide chrome plated escutcheon plates where pipes enter walls.
- D. Provide shutoff valves for all sinks, water heaters, toilets, washing machines,
- refrigerator icemaker, exterior hose bibbs and all other plumbing fixtures. E. Provide trap primers for all floor drains in areas not served by hose bibbs.

- A. Drain waste: All waste piping shall be Schedule 40 PVC-DWV with the following exceptions: Use cast iron piping in all return air plenums and penetrations of rated walls/floors/ceilings. Review Arch. and Mech. drawings. Use ABS or cast iron piping for drainage of fluid temperature greater than 140 deg. F for a minimum distance of 10'-0".
- B. Hot and cold water piping above grade: Type "L" copper w/solder joints 3.4 (ASTM-B88), hard drawn with wrought copper fittings (ANSI B16.22) PEX piping with copper fittings may be used with owner/tenant approval. and as allowed per code.
- C. Cold water piping below grade: Type "K" copper (ASTM-88A) soft drawn.
- D. Hangers: Use pipe hangers where required on 8-foot centers with saddles to avoid crushing insulation.
- E. Solder: 95/5. Lead free.
- F. Unions: Provide unions where indicated on drawings, in long runs of piping (except drainage) and at equipment to provide convenient disassembly. Provide dielectric unions when connecting copper tubing to equipment and piping made of ferrous materials.
- 2.3 CLEANOUTS
- A. Hex plugs in rough areas: Recessed plugs with cover plates in exposed locations.
- 2.4 SHOCK ARRESTERS
- Provide shock arresters as required by codes, manufacturer's recommendations and accepted industry standards for qualify construction. Provide for all quick closing valves.

PART 3 - EXECUTION

3.1 CONNECTIONS

- A. This contract includes complete connection of cold water, hot water, drainage, and vent piping as required. All fittings, valves, accessories, cutoffs, drains, etc., required to complete such connections shall be included.
- B. The connection to water closets shall be made watertight with gasket and wax ring. Floor flanges shall be caulked into position. Plastic caps shall be provided on the tie down bolts, and shall be secured in place by screwing down on threaded brass washers.
- C. Where water pipes connect to exposed chrome plated trim, use proper chrome plated escutcheons.
- 3.2 SERVICE ACCESS
- A. All valves and accessories shall be insulated so that they can be properly serviced. In no case shall the Plumbing Contractor install equipment or other components in situations that do not meet code requirements or manufacturer's requirements.
- 3.3 ROUTING OF PIPING
- A. Coordinate routing of piping with others, line up work true to or at right angle to adjacent surfaces and in a workmanlike manner. Support all interior piping from building structure by means of hanger or inserts to maintain pitch of lines, to prevent vibration, and to secure piping place.

- B. Space pipe hangers 8'-0" on center for one inch and smaller pipe, 4'-0" on center for 1-1/4 inch and larger pipe. Provide expansion loops as required.
- C. Pipe hangers for insulated lines shall have suitable saddles to protect insulation.
- All H/W and C/W piping shall be insulated with a min. of 1" inch elastomeric insulation (R-6.5 min.) in unconditioned areas. See NCSBC-Plumbing Sect. 305 for all protection requirements. All H/W piping of circulating systems shall be insulated with 1" insul ation per Sect. C404.4 of the NCSBC 2018 Energy Conservation Code.
- B. Provide pre—fabricated insulation kits for all sink and lavatory exposed drain and supply piping.
- 3.5 INSPECTIONS AND TESTS
- A. Before being concealed, all water, soil and vent piping shall be tested to determine if they are water— and air—tight.
- B. Prior to placing into service, entire system shall be tested for leaks in strict accordance with state and local codes.
- 3.6 STERILIZATION OF PIPING
- A. Sterilize the new water piping thoroughly with a solution containing not less than 50 parts per million of available chlorine, using liquid chlorine, or sodium hydrochloride solution, introduced into the system in an approved manner. The sterilizing solution shall remain in the system in an approved manner. The sterilizing solution shall remain in the system for a period of 24 hours. After sterilization, flush the solution from the system with clean water until the residual chlorine content is not greater than 0.2 parts per million, unless otherwise directed.
- 3.7 SERVICE PRESSURE
- A. Provide approved water-pressure reducing valve (PRV) if service pressure exceeds 80 psi to reduce pressure to 80 psi static or less and as required per NCSBC-Plumbing Sect. 604.8.

3.8 DRAINDOWN

- A. Contractor to provide for complete plumbing system drain down.
- 3.9 CLEAN UP
- A. During construction, keep the site clear of debris and upon completion, and before final inspection, clean up the premises to remove all evidence of his work. In addition, upon completion of construction, clean, wash, and/or polish all fixtures, equipment and exposed material and leave them bright and clean.

3.10 GUARANTEES

- A. Guarantee all materials and labor included in the plumbing work for a period of one year from date of final acceptance by the Owner.
- B. Any defects in the system which become evident during the guarantee period shall be corrected without cost to the Owner. This shall include the replacing of defective materials where required, and the repair of damage caused by leaking pipes, etc., and damage to building surfaces caused in making repairs.

	PLUMBING FIXTURE SCHEDULE *						
MARK	DESCRIPTION ALTERNATE MANUFACTURER/MODEL		ALTERNATE MANUFACTURER/MODEL				
LS	BRADLEY MODEL ELX-2 STATION WITH HYDROTEK 7000SLE SOLAR SENSOR FAUCET.	2- STATION LAVATORY (ACCESSIBLE) WITH FAUCETS SLOAN TWO STATION LAVATORY #ELRF-82000. ADA COMPLIANT. PROVIDE DRAIN W/GRID STRAINER, VERIFY COLOR WITH ARCHITECT. FURNISH WITH SLOAN EAF-275 SOLAR POWERED FAUCETS. CONNECT TO EXISTING DWV, HOT/COLD WATER LINES AS REQUIRED. VERIFY HOT WATER FROM LS FAUCET AT 110 DEG. F (MAX.). PROVIDE MIXING VALVE OPTION IF REQUIRED.	WILLOUGHBY MODEL WAW-232-DMF WITH TOTO TEL3GS10 SOLAR SENSOR FAUCETS.				

^{*}OR APPROVED EQUAL

GENERAL NOTES - PLUMBING

1. PREPLAN ALL WORK PRIOR TO ORDERING, PURCHASING, OR FABRICATING ANY PART OF THE WORK DESCRIBED BY THIS DRAWING. 2. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING FIELD CONDITIONS OR THE WORK OF OTHER TRADES.

3. RESOLVE ALL CONFLICTS PRIOR TO INCURRING ANY MATERIAL OR LABOR EXPENSES.

4. COMPLY WITH THE MANUFACTURER'S TECHNICAL INSTRUCTIONS WHEN INSTALLING PLUMBING FIXTURES, MATERIALS, AND DEVICES.

5. LOCATE FIXTURES AND EQUIPMENT GENERALLY AS SHOWN ON THE PLANS; HOWEVER, COORDINATE LOCATIONS WITH ACTUAL FIELD CONDITIONS TO PRESERVE ALL CODE—REQUIRED AND MANUFACTURER—REQUESTED SERVICE CLEARANCES.

6. COORDINATE ROUTING OF ALL PIPING WITH BUILDING STRUCTURE AND WITH THE WORK OF OTHER TRADES. OFFSET VENT PIPING AROUND BEAMS AND JOISTS AS NECESSARY. 7. ALL HANDICAP FIXTURES AND INSTALLATION OF HANDICAP FIXTURES SHALL CONFORM TO ADA REQUIREMENTS.

8. AT EXTERIOR WALL, INSTALL WATER PIPING ON HEATED SIDE OF WALL INSULATION.

9. PROVIDE WATER HAMMER ARRESTORS AT THE END OF EACH COLD AND HOT WATER BRANCH RISER. SIZE ARRESTOR APPROPRIATELY. 10. PROVIDE CONCRETE RING FOR ALL EXTERIOR CLEAN-OUTS.

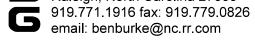
11. REVIEW SITE PLAN FOR UTILITIES AND ORIENTATION PRIOR TO START OF WORK. 12. G.C. TO PROVIDE ROOF PENETRATIONS.

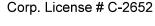
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ENGINEER









Ben Burke --- C93761FB80F34D5... 2/27/2019

PROJECT TITLE TYRRELL CTY. REST AREA & VISITOR'S CTR. US 64

COLUMBIA, NORTH CAROLINA

PROJECT NO.

1804a

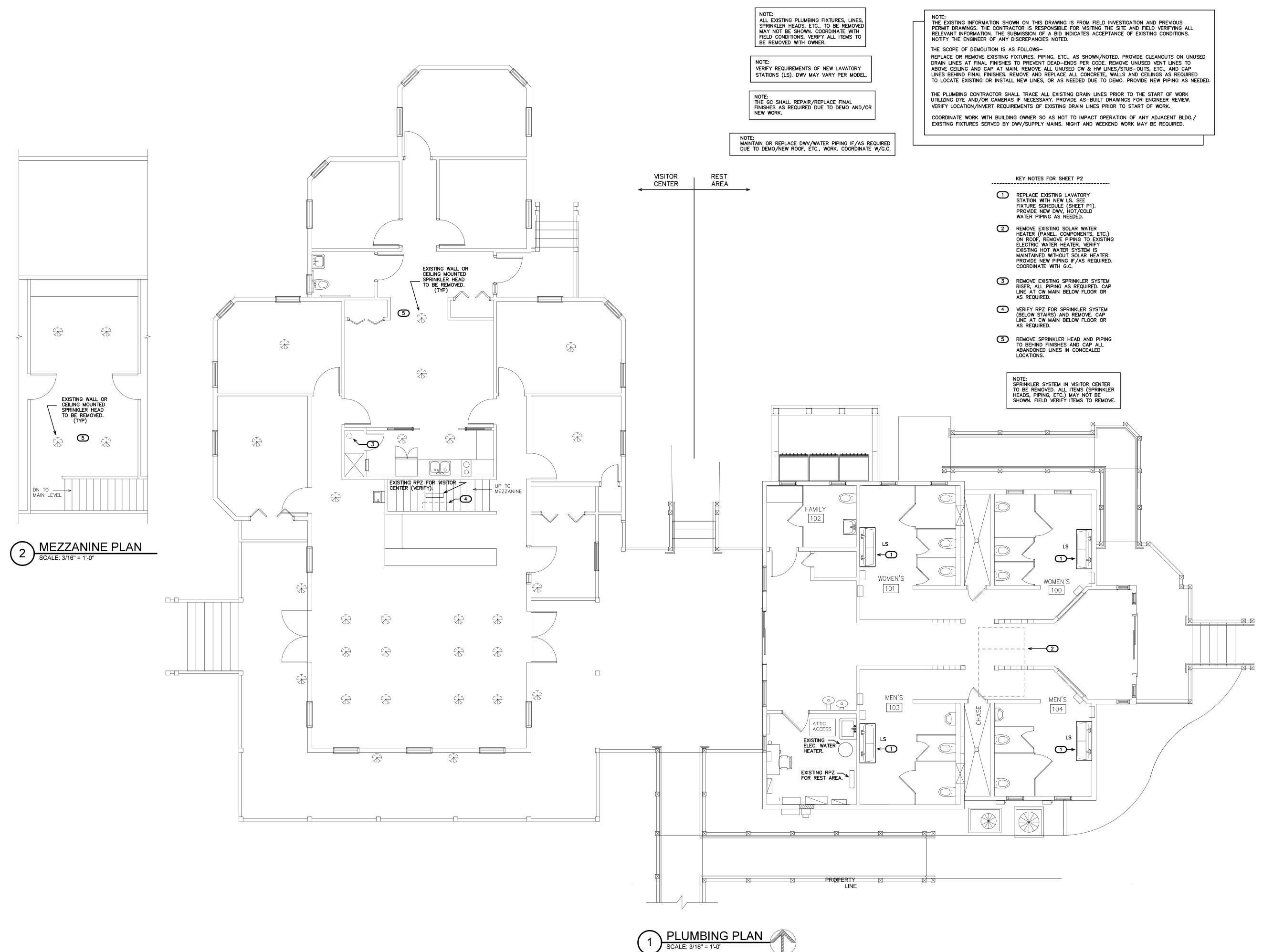
DRAWING TITLE PLUMBING SPECIFICATIONS



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ENGINEER

BURKE DESIGN GROUP, Pa CONSULTING ENGINEERS

3305-109 Durham Drive

3305-109 Durham Drive Raleigh, North Carolina 27603 919.771.1916 fax: 919.779.0826 email: benburke@nc.rr.com





Docusigned by:
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2/27/2019

PROJECT TITLE

TYRRELL CTY. REST

AREA & VISITOR'S CTR.

US 64 COLUMBIA, NORTH CAROLINA

PROJECT NO. 1804a

DRAWING TITLE **PLUMBING PLAN**



PLOT DATE

1/7/19

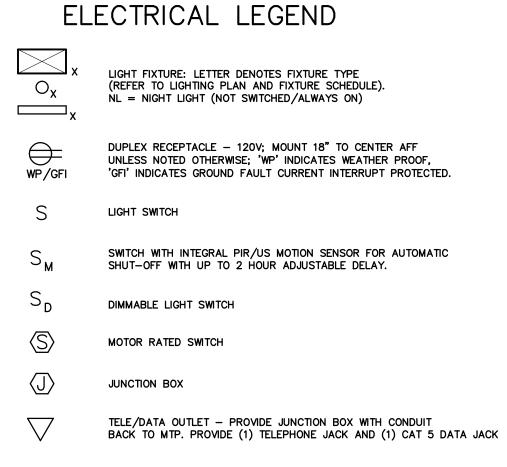
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GENERAL NOTES

- 1 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES HAVING JURISDICTION.
- 2 ALL BRANCH CIRCUIT CONDUCTORS TO BE COPPER (SERVICE CONDUCTORS MAY BE ALUMINUM WITH SAME AMPACITY AS COPPER CONDUCTORS. RE-SIZE CONDUCTERS AND CONDUIT PER NEC.)
- 3 ALL CIRCUITS TO BE 2 #12, 1 #12 GND IN 1/2" EMT CONDUIT AS A MINIMUM. PROVIDE WIRING FOR LARGER CIRCUITS AS REQUIRED BY NEC. RIGID CONDUIT IS REQUIRED WHERE EXPOSED BELOW 8'-0" A.F.F.
- 4 ALL EMPTY CONDUIT RUNS IN EXCESS OF 10 FEET SHALL BE PROVIDED WITH A PULL WIRE OR FISH TAPE/CORD.
- 5 CONTRACTOR SHALL VERIFY THAT ALL DOOR SWINGS ARE CORRECT BEFORE INSTALLING LIGHT SWITCH OUTLETS.
- 6 ALL BRANCH CIRCUIT CONDUCTORS FROM THE PANEL TO THE FIRST OUTLET SHALL BE INCREASED TO THE NEXT LARGER SIZE WHERE THE LENGTH OF THE HOME RUN EXCEEDS 120 FEET ON 120V AND 208V CIRCUITS.
- 7 THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS, ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THE ELECTICAL CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON DRAWINGS OR NOT.
- 8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY PHASING THE CIRCUITS IN THE PANELBOARDS.
- 9 THE ELECTRICAL CONTRACTOR SHALL VERIFY THE TYPE OF CEILING SYSTEM WITH THE GENERAL CONTRACTOR TO INSURE THAT ALL LIGHTING FIXTURES ARE COMPATIBLE WITH THE CEILING SYSTEM BEING INSTALLED. LIGHTING FIXTURES SHOULD NOT BE ORDERED UNTIL TYPE OF CEILING HAS BEEN VERIFIED.
- 10 ELECTRICAL REQUIREMENTS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DIFFERS FROM RATINGS ON DRAWINGS CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.
- 11 IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE EXACT BREAKER REQUIREMENTS FOR ALL EQUIPMENT PRIOR TO ORDERING PANEL. ADJUST BREAKER AND WIRE SIZES AS REQUIRED.
- 12 PROVIDE BOXES, JACKS, WIRING AND CONDUIT FROM LOCATIONS SHOWN TO MTP LOCATION. VERIFY EXACT REQUIREMENTS WITH OWNER.
- 13 ELECTRICAL CONTRACTOR SHALL PROVIDE ALL DISCONNECTS FOR MECHANICAL & PLUMBING EQUIPMENT. DISCONNECTS SHALL BE PER MANUFACTURES RECOMMENDATIONS AND FUSED PER NAME PLATE. PROVIDE NEMA 3R ENCLOSURES ON EXTERIOR. COORDINATE FUSE SIZES.
- 14 THE EC SHALL MEET WITH THE ARCHITECT AND TENANT PRIOR TO INSTALLING OUTLET BOXES TO VERIFY LOCATIONS AND MOUNTING HEIGHTS OF RECEPTACLES AND TELEPHONE



SINGLE-POLE HOMERUN TO PANELBOARD TWO-POLE OR 3-POLE HOMERUN TO PANELBOARD

DISCONNECTING MEANS AS REQUIRED BY CODE

EXIT LIGHT

EMERGENCY EGRESS FIXTURE

BRANCH CIRCUIT WIRING ---- SWITCH LEG

GROUND CONNECTION

PHOTOCELL

DISTRIBUTION PANELBOARD PANEL A

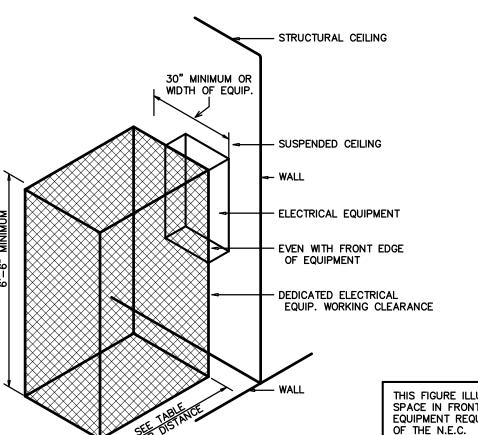
FIRE ALARM LEGEND

HORN/STROBE SIGNALING DEVICE (XX) CANDELLA RATING; (S) INDICATES STROBE-ONLY

PULL STATION

SMOKE DETECTOR HEAT DETECTOR

FIRE ALARM CONTROL PANEL



ELECTRICAL EQUIPMENT WORKING CLEARANCE PER ARTICLE 110-26 OF N.E.C.

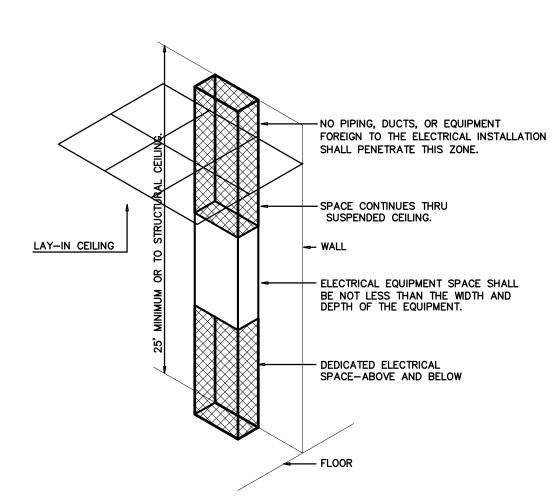
WORKING CLEARANCES								
VOLTAGE TO			DISTANCE IN	FEET				
GROUND NOMINAL	CONDITION:	1	2	3				
0-150		3	3	3				
151-600		3	3-1/2	4				

THIS FIGURE ILLUSTRATES THE WORKING SPACE IN FRONT OF THE ELECTRICAL EQUIPMENT REQUIRED BY SECTION 110-16

WHERE THE CONDITIONS ARE AS FOLLOWS:

1 EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR GROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE, OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR INSULATED BUSBARS OPERATING AT NOT OVER 300V SHALL NOT BE CONSIDERED LIVE PARTS. 2 EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE.

3 EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1)



ELECTRICAL EQUIPMENT DEDICATED SPACE PER ARTICLE 110.26.F.1 OF N.E.C.

DEDICATED SPACE

TURNER ARCHITECTURE

WEEKS TURNER ARCHITECTURE, PA 3305-109 Durham Drive Raleigh, North Carolina 27603 919.779.9797 fax: 919.779.0826 www.weeksturner.com

ENGINEER

WEEKS



Corp. License # C-2652



Ben Burke C93761FB80F34D5.. 2/27/2019

PROJECT TITLE TYRRELL CTY. REST AREA & VISITOR'S CTR. US 64 COLUMBIA, NORTH CAROLINA

PROJECT NO. 1804a

DRAWING TITLE **ELECTRICAL SPECIFICATIONS**

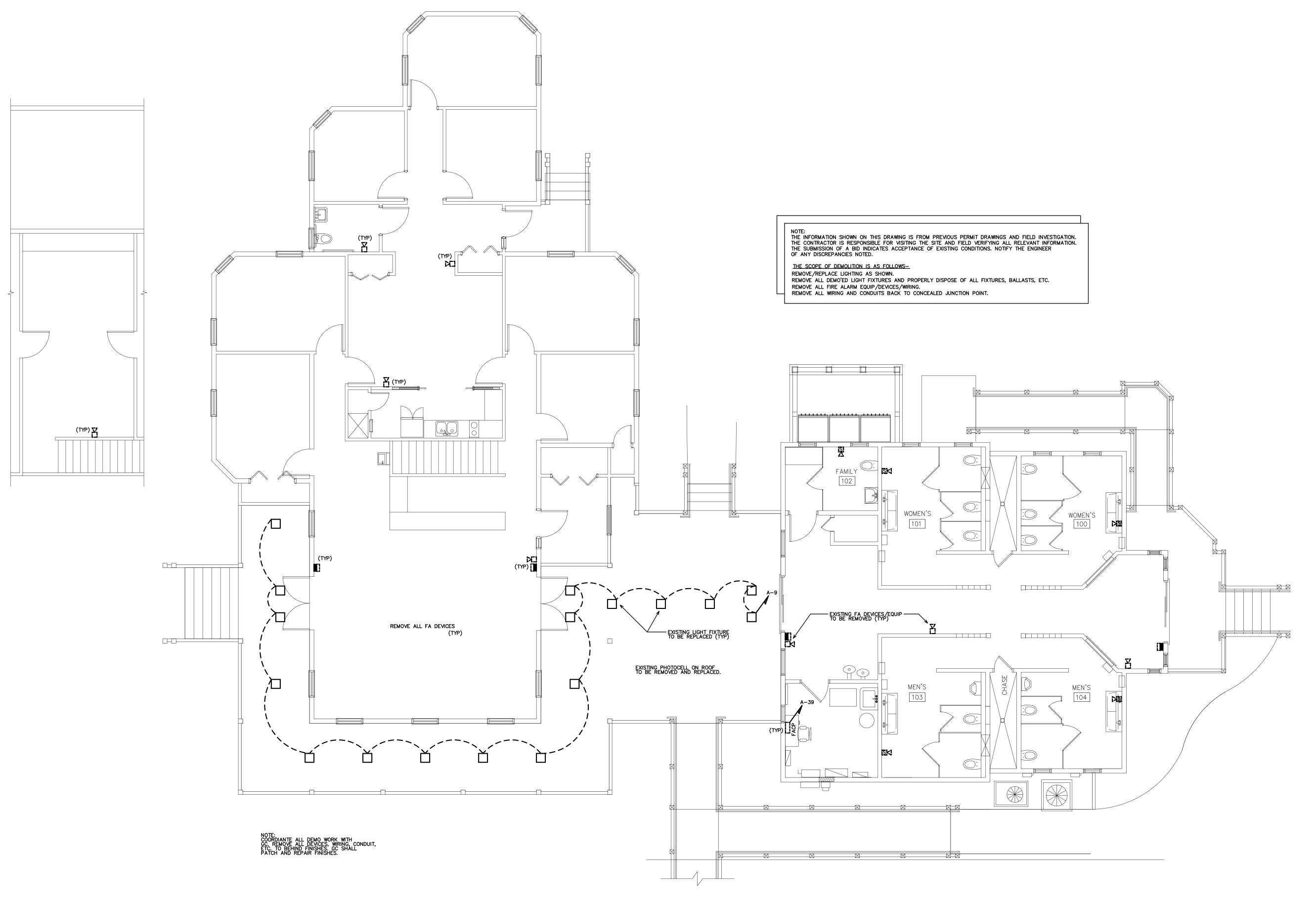


PLOT DATE

2/22/19

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2 ELECTRICAL CLEARANCES
SCALE: NTS



1) EXISTING ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

EXISTING DEVICE/FIXTURE TO BE REMOVED OR REPLACED

WEEKS TURNER **ARCHITECTURE**

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PROJECT TITLE TYRRELL CTY. REST AREA & VISITOR'S CTR. US 64 COLUMBIA, NORTH CAROLINA

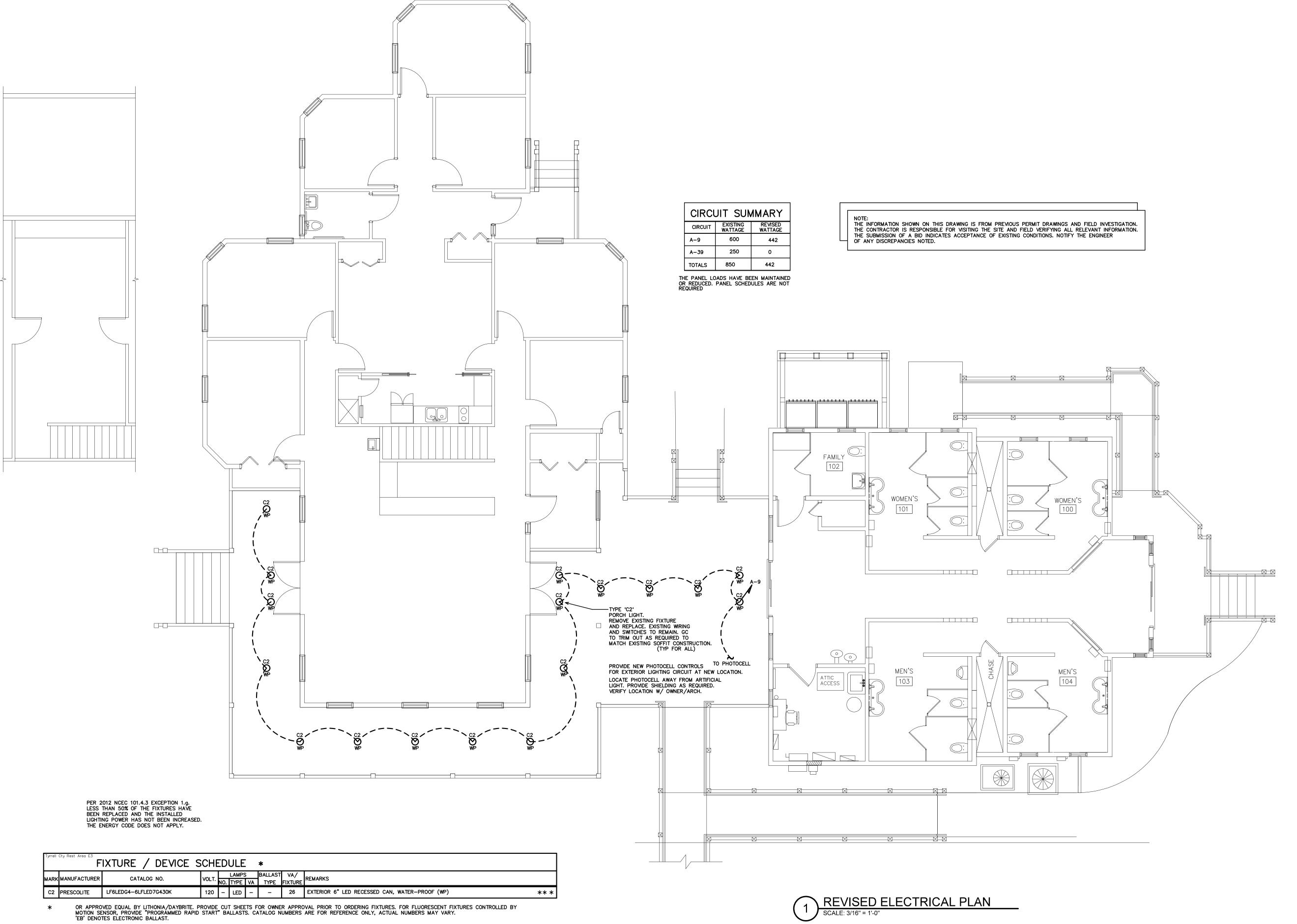
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** VERIFY FIXTURE HAS INTEGRAL LOCAL DISCONNECTING MEANS PER NEC 410.130 (G) (2017). THE EMERGENCY LIGHTS AND EXIT SIGNS MUST HAVE INTEGRAL BATTERIES, CHARGERS AND TEST SWITCHES. WEEKS **TURNER ARCHITECTURE**

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PROJECT TITLE TYRRELL CTY. REST AREA & VISITOR'S CTR. US 64 COLUMBIA, NORTH CAROLINA

PROJECT NO. 1804a

DRAWING TITLE **ELECTRICAL PLAN**



PLOT DATE

1/7/19

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